

INSPECTION REPORT

Report Number
5051

Property Information



**123 Pebble Stone
Bedrock, Stone Age
62025**

Client Information

**Client Name Fred and Wilma Flintstone
456 Granite Rock
Bedrock Stone Age**

Inspected on

**Inspection Date Wednesday, January 31, 0001
Inspection Time 9:00 AM**

Inspection Conducted By



**Gum Property Inspections
P.O. Box 1013
Collinsville, IL 62234**

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Inspected by:
Mark Gum IL Lic # 450.0000112



August 5, 2007

Contract Number: 5051

INVOICE

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Bill To:

<input checked="" type="radio"/> Client <input type="radio"/> Agency	
Fred and Wilma Flintstone 456 Granite Rock Bedrock Stone Age	Thank You for using Gum Property Inspections

CLIENT INFORMATION	PROPERTY INSPECTION INFORMATION
Name Fred and Wilma Flintstone Mailing Address 456 Granite Rock Bedrock, Stone Age Phone Home: 111-222-3333 Work: Cell: E-Mail fred flintstone @ stoneage	Inspection Address 123 Pebble Stone Bedrock, Stone Age 62025 Report Number: 5051 Inspection Date: January 31, 0001 Inspection Time: 9:00 AM Inspector: Mark Gum IL Lic # 450.0000112 On behalf of: Gum Property Inspections

Fees For Services Provided

Inspection Fee	\$300.00
Fee 1	\$0.00
Fee 2	\$0.00
Tax	\$0.00
Total Invoice:	\$300.00

Invoice Notes

Payment due at time of inspection. Make checks payable to Gum Property Inspections.
Thank You for choosing Gum Property Inspections.

RESIDENCE

The residence of 123 Pebble Stone, Bedrock, was inspected on Wednesday, January 31, 0001 at approximately 9:00 AM.

The style of this home is: detached residence.

The approximate age of this home in years is:

Stories above grade: 1

AMBIENT CONDITIONS

60 to 70 Degrees F

Cloudy

Recent Rain

Location orientations in this report are with reference to viewing the property from the front, representing facing the front entry door.

This Report is provided as information to the contracted party(s): Fred and Wilma Flintstone

In attendance at the inspection were:

Puchaser's Agent: Paul Ottwein

METHOD AND EXTENT OF INSPECTION

A visual inspection of readily accessible systems and components was conducted with the objective of reporting the overall condition of the home and identifying those systems and components that are significantly deficient or are near the end of their service life. The inspection as undertaken by Gum Property Inspections following guidelines provided by the American Society of Home Inspectors and the State of Illinois inspection standards of practice. These standards are available upon request.

Deficiencies as observed in the course of inspection are noted in the attached Deficiencies Report. In interpreting results from this home inspection, this report should be taken in context of the full report.

The following systems were inspected, with the full report describing the characteristics of these systems:

- Roof System
- Exterior Elements
- Structural System
- Interior Elements
- Insulation and Ventilation Systems
- Heating and Cooling Systems
- Plumbing System
- Electrical System

LIMITATIONS

This report has been prepared for the sole and exclusive use of the client indicated above and is limited to an impartial opinion of the condition of the property at the date and time of inspection. This Report does not imply or constitute a guarantee, warranty, or an insurance policy with regards to this property. The client is advised that latent or concealed defects may exist as of the date of this inspection or which may have existed in the past or may become apparent in the future. The report is limited to the components of the property which were visible to the inspector during the process of inspecting the property. Note that this inspection and report does not constitute a Code or Bylaw inspection, and that further interpretation from the appropriate authority/agency may be required. The recipient of this Report should also review the Scope and Contract for this inspection and the Standards of Practice, which are available upon request, as information and advisement to the nature and extent of the property

inspection.

TERMINOLOGY

Terms used in the Deficiency Report section provide details of observations made in the course of the home inspection. In reporting an observation, the inspector is providing an opinion that the condition is considered to be a deficiency when the function or operation of the observed item does not meet an aspect of acceptable or intended performance.

LOCATION: The physical location of the noted condition as reported by the inspector.

CONDITION: A description of the observation, phrased to reflect a statement of deficiency.

EXPLANATION: A description of the nature of the deficiency.

IMPACT OR CONSEQUENCES: A description of impact of the condition to the homeowner based on the system or component not meeting its intended function. Where applicable, a description of consequence for not taking action to resolve the deficiency may be provided, and may provide information on the affect to the homeowner in terms of damage, or the affect to the home's occupants in terms of health or safety.

RECOMMENDED ACTION: The inspectors opinion for action by the homeowner. Action statements may include:

Repair: the noted item or system should be repaired to restore it to its intended function or condition

Replace: the noted item is deficient to a degree that actions for achieving intended performance will likely best be accomplished by removing and replacing the affected item.

Review: the item should be reviewed by the homeowner, possibly with input from other experts, and where the condition applies to a new home, may require review with the builder. The need for repair may be of a subjective nature requiring considerations of a scope broader than merely replacing or fixing the item.

Monitor: the item should be monitored on a periodic basis, with action as appropriate to the degree of change over time.

Service: the noted item has an aspect of functionality that can be improved by servicing the item, with the intended result being to restore the item to its expected level of operation and functionality.

Install: the noted item is not installed in a manner to achieve a required function or operation.

Adjust: the noted item requires an adjustment to achieve its intended operation and function.

Complete: the noted item is partially completed in terms of installation, with further work required to achieve completion.

Remove: an item requires removal as it constitutes an aspect not required.

Consult Specialist: the nature of an observation is such that the services or opinion of a specialist is required to ascertain cause, effect, and/or remedial action for the specific condition. The inspector defers opinions of the condition to that of an expert or specialist with appropriate qualifications, training, and knowledge of the noted condition to provide advise to the client.

FUNCTION

The primary purpose of the roofing system is to protect the interior of the home from the elements, including sun, wind, rain, and snow. The design and selection of materials including the roof structural elements, sheathing, roof coverings, flashings, ventilation, and protruding components affect the performance and durability of the system as a whole. As the roof system is intended to provide a weather tight covering over the home, it is critical that this system be periodically checked; a thorough review twice a year is recommended, and any deficiencies noted should be immediately corrected.

INSPECTION PROCESS

As documented by this Report, the visual inspection of the roofing system included the examination of the readily accessible roof covering(s); the roof drainage system; the flashings; and penetrations through the roof surface including skylights, chimneys, roof vents, etc. Reported below are the description of the roof system and the methods used to inspect this system. Items excluded from this examination, if present, include: antennae; interiors of flues or chimneys which are not readily accessible; and installed accessories such as solar panels, lightning arrestors, etc.

As a primary function of the roof system is to protect against water infiltration, it should be noted that there may be leaks in the roof system that may only become apparent under specific weather conditions that were not encountered at the time of the inspection. Also note that although the inspector may provide a statement estimating the apparent age of roof cover, this is expressed as an opinion only. The actual age may vary considerably from this stated estimate. Factors such as manufactured shingle quality, installation methods, weather, roof system ventilation, orientation of roof surface, etc. affect the life expectancy of the roof cover, and as such accurate statements on age can often not be provided.

SYSTEM CHARACTERISTICS:

LOCATION	ROOF COVER	SLOPE	AGE	INSPECTION METHOD
Main/Upper	Asphalt Shingle	High	5-10 Years	Visual: From Ground

ROOF PENETRATIONS

ROOF VENTS: One or More Observed
 PLUMBING STACK: Plumbing Stack(s) Observed
 CHIMNEYS: Metal
 SKYLIGHTS: Raised (Above Roof Line)
 ELECTRICAL MAST: None Observed

ROOF DRAINAGE

SOFFITS: Aluminum
 FASCIA: Aluminum
 GUTTERS: Aluminum
 DOWNSPOUTS: Aluminum

RESTRICTIONS:

At the time of inspection, the following restrictions applied to the examination of this system:

Access Restriction: Safety - Pitch Prevents Access to Walking Upon Surfaces

ROOF SYSTEM ASSESSMENT SUMMARY:

Overall Condition: Acceptable. In assessing the various aspects of the roof system, no major concerns were noted.

DEFICIENCY SUMMARY:

No reported deficiencies were identified in the inspection of this system and its principal components.

OBSERVATIONS & SUGGESTIONS:

Periodic roof examinations are suggested, with attention to monitoring for missing or damaged shingles, and deterioration over time. A visual examination of all roof surfaces should be done as part of your twice-yearly exterior maintenance activities.

PURPOSE

The primary purpose of the exterior elements of the home is to provide a weatherproof "envelope" to the house and its interior, with protection from the adverse affects of rain, wind, snow and sun, as well as to secure against entry by intruders.

INSPECTION PROCESS

As documented by this Report, the visual inspection of the exterior elements included examination of the readily accessible exterior wall coverings, flashings, and trims; exterior doors; attached decks, balconies, steps, porches, and their associated railings; the eaves, soffits, and fascias; the vegetation, grading, surface drainage, and retaining walls on the property where these are likely to adversely affect the building; and walkways, patios, and driveways leading to the home's entrances. Also examined are windows, window wells, and the interior of the garage. Garage door openers with permanently installed controls will be operated to verify auto-reverse and safety mechanism operation. Reported below are the characteristics of the exterior elements examined, as well as other appropriate information noted during the course of inspection. The mode of examination was primarily visual, although aids such as binoculars, ladders, and selective nondestructive probing may have been employed to ascertain the condition of specific components or elements.

Note that the exterior inspection does not normally include and report on: storm doors, storm windows, screens, shutters, awnings or similar seasonal accessories; presence of safety glazing in doors and windows; remote operators for automatic garage door openers; fences; geological, geotechnical, or hydrological conditions; soil conditions; recreational facilities such as swimming pools, spas, saunas, playground equipment, tennis courts, etc.; barns, sheds or other outbuildings or structures; buried fuel storage tanks; and erosion control or earth stabilization measures. The home inspector is not required to move stored items, equipment, furniture, vegetation, soil, snow, ice, debris, or other items that obstruct access or visibility. The inspector at his/her discretion is not required to enter confined spaces where such entry is in the opinion of the inspector not safe.

SYSTEM CHARACTERISTICS:

WALL CLADDING(S)

EXTERIOR WALL FINISHES: Brick Masonry; Vinyl Siding
EXTERIOR WALL TRIMS: Vinyl
CHIMNEYS: Metal

ROOF EDGE ELEMENTS AND DRAINAGE

SOFFITS: Aluminum
FASCIA: Aluminum
GUTTERS: Aluminum
DOWNSPOUTS: Aluminum
DOWNSPOUT DISCHARGE: Below Grade

GARAGE & DRIVEWAY

GARAGE STYLE: Attached/Integral
GARAGE DOORS: Entry Door to House; Vehicle Door
GARAGE DOOR OPERATORS: Auto Door Opener
DRIVEWAY: Concrete and Gravel

LOT GRADING & DRAINAGE

LOT GRADING: Generally Slopes Away From House
LOT DRAINAGE: Street slopes towards the house

PORCHES, DECKS, STAIRS, & PATIOS

PORCHES AND DECKS: Front; Back
EXTERIOR STAIRS: Concrete
EXTERIOR STAIR/DECK RAILINGS: N/A
PATIOS: Patio Stone
WALKWAYS: Concrete
RETAINING WALLS: N/A

DOORS & WINDOWS

WINDOW STYLES: Single/Double Hung; Casement
WINDOW SASH MATERIAL: Wood
WINDOW GLAZE FEATURES: Double Glazed; Sashless Slider 1-pane
EXTERIOR DOOR STYLES: Single
EXTERIOR DOOR MATERIALS: Metal; Wood

RESTRICTIONS:

At the time of inspection, the following restrictions applied to the examination of this system:

Foundation: Shrubs, Greenery Obstruct Viewing
Walls: Stored Items Obstruct Viewing

Garage: Visual Restriction Due To Storage

EXTERIOR ELEMENTS ASSESSMENT SUMMARY:

Overall Condition: Acceptable; Repairs Required. In assessing the various aspects of the exterior elements of this home, conditions are noted where repairs are required. Assuming the noted conditions are repaired, the overall condition would be acceptable, with periodic monitoring and preventative maintenance activities performed.

DEFICIENCY SUMMARY:

- 1 **CONDITION:** Exterior masonry brick is loose on the front porch step.
OBSERVED AT LOCATION(s): Front Porch Step
EXPLANATION & IMPACT: *Loose bricks are noted, May be a trip concern. Loose or missing bricks can allow moisture to enter the wall cavity causing damage to the structure and interior walls.*
RECOMMENDED ACTION: Repair

- 2 **CONDITION:** Caulking is missing where the brick and siding meet.
OBSERVED AT LOCATION(s): Exterior
EXPLANATION & IMPACT: *Gaps are noted at the junction areas where the brick and siding meet. Caulking where the brick and siding meet serves several functions, including preventing air, water, and pest infiltration, and restricting heat loss or gain through the exterior wall. Moisture has the greatest potential for damage; unintended water infiltration into the house can cause significant damage to surfaces and property, and if not corrected, may lead to damage and rot to structural elements. Caulking at the noted location should be performed at the earliest opportunity; preventative maintenance should include reviewing and repairing exterior caulking at doors, windows, and wall penetrations at least twice a year.*
RECOMMENDED ACTION: Repair

- 3 **CONDITION:** Flashing where the deck joins the building is missing or not properly installed.
OBSERVED AT LOCATION(s): Exterior Rear
EXPLANATION & IMPACT: *Suitable provisions are required where the deck joins the building to seal against water, air, and pest infiltration. Unintended water infiltration into the house, or between the boards where the deck joins the house, can result in significant damage to surfaces and property, and if not corrected, may lead to damage and rot to structural elements. Unintended air infiltration may affect interior air quality and conditioning. Unintended pest entry can result in damage to interior finishes and belongings, and in some cases may present health risks. Corrective action is required to seal all openings through the exterior wall system.*
RECOMMENDED ACTION: Repair

- 4 **CONDITION:** Wood deck should be bolted to the building.
OBSERVED AT LOCATION(s): Exterior Rear
EXPLANATION & IMPACT: *The deck is currently nailed to the building. Lag bolts should be installed where the deck connects to the building. Nails work loose over time. Bolts help to maintain a strong connection to the building.*
RECOMMENDED ACTION: Repair

- 5 **CONDITION:** Wood elements of the exterior door requires painting
OBSERVED AT LOCATION(s): Rear garage door
EXPLANATION & IMPACT: *Paint at an exterior door is observed to be deteriorated. Painting of the wood elements of exterior wood doors is a maintenance activity to prevent damage due to the effects of the sun and weather. Wood requires periodic painting to protect against rot. Failure to properly maintain exterior doors will result in deterioration of the doors, and may result in damage to the structure and interior should the door and its framing not provide suitable protection from water infiltration.*
RECOMMENDED ACTION: Repair

6 **CONDITION:** Downspout(s) discharge near foundation

OBSERVED AT LOCATION(s): Left rear corner

EXPLANATION & IMPACT: *Concentrated water discharge from the roof is occurring due to downspouts terminating near the home's foundation. This will promote water saturation of soils at the foundation and footings, and may result in moisture-related problems in the basement. Downspouts should be installed such that drainage will occur away from the foundation of the home. If possible, the discharge point from downspouts should be at least 6' (2m) away from the foundation. Water accumulation near the foundation may lead to foundation and basement dampness issues. This condition should be closely monitored; where basement dampness or foundation cracks are noted, remedial action is recommended to improve the grade and assure effective drainage will occur.*

RECOMMENDED ACTION: Review

7 **CONDITION:** Exterior stairs are missing

OBSERVED AT LOCATION(s): Right rear living room door and the rear outside garage door

EXPLANATION & IMPACT: *Stairs are noted to be missing. Stairs should have a rise (height between steps) of about 8" (20 cm) and a run (depth of the treads) of about 9-10" (23-25 cm) to make the stairs easy to mount. Trips and falls are more likely to occur on stairs where there is an uneven rise or run. When using stairs, the tendency is to assume an even rise, and therefore tripping occurs either by over-stepping or under-stepping when mounting individual steps that have a rise other than expected. Stairs that have too shallow of a run present a higher risk of slips and falls by not being able to assure full foot contact on the tread. Unless corrected, stairs with these conditions present a greater risk of injury.*

RECOMMENDED ACTION: Install

OBSERVATIONS & SUGGESTIONS:

Exterior elements should be inspected at least twice a year (spring and fall) to assess for items requiring repair or maintenance. This includes all exterior surface finishes; trims and flashings; eavestrough and downspouts; soffits and fascias; porches, decks and stairs; sidewalks and driveways; doors and windows; and roofs. Be particularly vigilant for conditions that may result in pest or water infiltration.

PURPOSE

The primary purpose of the your home's structural system is to support the loads placed in and on the house. The structure of the house includes elements that form the home's "skeleton", specifically the footings, foundation, walls, floors, and roof. Sound structural design resists site and external factors that could result in undesired physical changes to the structure as a whole, such as settlement, effects of both static loads (such as the weight of the structure and its contents) and dynamic loads (such as snow loads, and number and movement of people in the house), effects of strong winds and major temperature variation on the structure, and deterioration or failure of specific structural elements.

INSPECTION PROCESS

As documented by this Report, the visual inspection of the structural system includes examination of the readily accessible structural components and framing of the home, and may include probing a representative number of structural components where deterioration is suspected or where there is a clear indication that possible deterioration exists. Probing is NOT performed where probing would damage any finished surface or where no deterioration is visible. Elements of the structural system that are examined and reported include: the foundation, the floor structure, the wall structure, the ceiling structure, and the roof structure. Also reported are signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. Methods used to inspect the underfloor crawl space and attic, if present and accessible, are reported. The primary mode of structural examination is visual in nature; surfaces, coverings, and obstructions are not disturbed in the course of examination.

Note that the inspection may have restrictions to examination due to design and access. For example, attic areas containing loose-fill insulation are most commonly viewed at the hatch, and physical entry into the attic is not undertaken as it may result in disturbing insulation as installed and may present risk to the physical safety of the inspector. Also note that there may be leaks from the exterior into or through the structural components, such as walls, roof structure, ceilings, and foundation, that may only become apparent under specific weather conditions that were not encountered at the time of inspection. It should be further noted that moisture, condensation, and water infiltration conditions may exist at the time of inspection but are not apparent due to factors that conceal the direct observation of the condition(s). This may include coverings, furnishings, belongings, restricted access, etc., or are visible under specific lighting conditions or viewing positions.

The inspector does not normally provide any engineering or architectural services, or offer an opinion on the adequacy of any structural system or component.

ACCESS TO INSPECTED AREAS:

ATTIC HATCH LOCATION(S)	EXAMINATION METHOD	CRAWL SPACES
Bedroom Closet Garage Ceiling	Attic Examined From Ladder at Hatch	None present

SYSTEM CHARACTERISTICS:

GRADE LEVEL/SUB-GRADE ELEMENTS

FOUNDATION WALLS: Poured Concrete
 BASEMENT FLOOR: Concrete Floor
 CRAWL SPACES: None present
 COLD STORAGE: No cold storage area present

ROOF STRUCTURE

ROOF STRUCTURE: Wood Truss
 ROOF SHEATHING: OSB/Waferboard

WALL AND FLOOR STRUCTURE

EXTERIOR WALLS: Wood Frame, Brick Veneer + Vinly
 FLOOR JOISTS: Solid Wood
 FLOOR SHEATHING: OSB/Waferboard
 BEAMS: Steel
 BEAM SUPPORT: Foundation Wall; Columns
 COLUMNS: Steel; Concrete

RESTRICTIONS:

At the time of inspection, the following restrictions applied to the examination of this system:

Exterior Walls: Storage/Obstructions
Foundation, Interior: Finishes

STRUCTURAL SYSTEM ASSESSMENT SUMMARY:

Overall Condition: Acceptable; Monitor Closely. In assessing the various aspects of the structural elements of this home, no major deficiencies were noted, but ongoing monitoring is required to conditions with observed concerns.

DEFICIENCY SUMMARY:

-
- 1 **CONDITION:** The attic access hatch was blocked by personal items and storage
OBSERVED AT LOCATION(s): Right attic access in the Garage
EXPLANATION & IMPACT: *The access to the attic was blocked. This section of the attic could not be inspected. The attic was not inspected in this area.*
RECOMMENDED ACTION: Review
-
- 2 **CONDITION:** Foundation wall is cracked; minor
OBSERVED AT LOCATION(s): Right basement wall by the main electrical panel, front basement wall by the water line, right rear corner as seen outside
EXPLANATION & IMPACT: *Cracks in the foundation wall are observed during examination of the exterior of the home. At the time of inspection, the crack(s) are regarded to be minor. Ascertaining the cause of a crack cannot be readily determined during a home inspection, but are typically due to shrinkage of the concrete during curing, settlement of soils below the footings, pressure of soils against the foundation wall, or from a physical shock, seismic or hydrological event. At the time of inspection, adverse effects are not observed. Minor cracks should be monitored for change over time. Cracks that change in size and extent over time are an indication of settlement and should be reviewed by a foundation specialist, and may require further evaluation by a soils and/or structural engineer. Periodic monitoring is recommended to ascertain whether adverse effects are occurring. Note that a home inspection cannot predict whether an adverse consequence is likely to occur. For example, a crack that shows no indication of current or past evidence of water leakage to the interior may leak in the future.*
RECOMMENDED ACTION: Monitor

OBSERVATIONS & SUGGESTIONS:

The condition of the foundation should be checked twice a year (spring and fall) for indication of change, movement, or deterioration. In addition, look for evidence of moisture infiltration, dampness, and mold.

Visible wood structure elements should be checked at least twice a year for indications of deterioration or change. Items to check include visible areas of the floor structure (such as viewed from the basement), and an attic examination for the condition of the roof structure. Checks should include observing for water damage, pest infiltration, and deterioration.

PURPOSE

The primary purpose of your home's interior elements is to serve the living and space requirements of its occupants. Defining elements include walls, ceilings, floors, doors, windows, and storage needs. In addition, the heating, cooling, ventilation, plumbing, and electrical systems are arranged to meet the needs of each room and space.

INSPECTION PROCESS

As documented by this report, the focus of the home inspection is to the functional rather than appearance aspects of your home's interior elements. The inspection of the interior elements includes a visual examination of the readily accessible walls ceilings and floors; steps, stairways, and railings; balconies; countertops and a representative number of installed cabinets, and a representative number of doors and windows. This inspection does not normally include examination of surface finishes such as paint, wallpaper, or other forms of finish treatment, or installed elements such as carpeting, window treatments, central vacuums, household appliances, and recreational facilities (pools, spas, etc.).

The primary mode of examination of interior elements is visual in nature; surfaces, coverings, and obstructions are not disturbed in the course of examination. If observed, the inspector will report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. This examination does not normally include assessment for air quality, moisture problems that may result in visible or concealed mold growth, presence of toxic or hazardous materials, presence of radon gas, and contaminants either present from construction or past use of the property. A qualified environmental service or expert should be consulted should there be concerns on any of these issues.

SYSTEM CHARACTERISTICS:

INTERIOR FINISHES

INTERIOR WALL FINISHES: Drywall; Paneling
 CEILING FINISHES: Drywall; Textured
 FLOOR FINISHES: Carpet; Hardwood Strip; Rigid Tile
 FLOOR SHEATHING: OSB/Waferboard
 PARTY WALLS: N/A

FIREPLACES

FIREPLACE STYLE: Framed
 FIREPLACES: Wood-Burning
 METHOD OF FUME VENTING: Chimney

DOORS AND WINDOWS

INTERIOR DOOR STYLES: Regular Hinged; Sliding
 WINDOW STYLES: Single/Double Hung; Casement
 WINDOW SASH MATERIALS: Wood
 WINDOW GLAZE: Double Glazed; Sashless Slider 1-pane

INTERIOR STAIRS

STAIRS: Basement; Second

OTHER INTERIOR ELEMENTS

CABINETS AND COUNTERTOPS: Kitchen; Bathrooms

RESTRICTIONS:

At the time of inspection, the following restrictions applied to the examination of this system:

Items not inspected include:

Cable Systems, Telephone Systems, Chimney Interiors

Limited visual inspection of interior elements is due to restrictions including:

Furnishings, Storage, Surfaces Under Rugs

INTERIOR ELEMENTS ASSESSMENT SUMMARY:

Overall Condition: Acceptable; Repairs Required. In assessing the various aspects of the interior elements of this home, conditions are noted where repairs are required. Assuming the noted conditions are repaired, the overall condition would be acceptable, with periodic monitoring and preventative maintenance activities performed.

DEFICIENCY SUMMARY:

-
- 1 **CONDITION:** Wood burning fireplace/chimney has a heavy creosote buildup
OBSERVED AT LOCATION(s): Living Room
EXPLANATION & IMPACT: *Creosote is the residue from unburned products of combustion from the burning of wood in the fireplace. Creosote is a black, crusty deposit that builds up over time on the inside walls of the chimney. Creosote can also form as a gel, that can flow or run, or as a hard glaze. All forms of creosote are flammable, and if allowed to build up, pose a fire risk. When permitted to build up on the walls of the chimney, the creosote becomes a fire hazard, as creosote is highly flammable. The primary concern is that creosote can result in chimney fires which occurs when the creosote is ignited in a chimney. Before using the fireplace, we recommend that the fireplace be cleaned and examined by a certified fireplace specialist, to assure that the fireplace is safe for operation. As part of a regular plan for home maintenance, chimneys and fireplaces should be cleaned and inspected annually.*
RECOMMENDED ACTION: Repair
-
- 2 **CONDITION:** Exterior window has a missing screen
OBSERVED AT LOCATION(s): 3 windows
EXPLANATION & IMPACT: *A window screen is observed to be missing at the noted location(s). The primary purpose of the screen is to prevent pest entry when the window unit is used for ventilation. A secondary function of the screen is to restrict the ability of children or pets to unintentionally leave the house. Damaged screens will often result in unintended consequences, such as pest entry (insects, birds, rodents, etc.) or unintended "escape" of small children or pets. Although screens can be breached, their presence often restricts small children from leaving the home, and becoming exposed to risks to their safety. Windows are often at sufficient height from the ground that fall hazards should be considered as a primary safety concern. Damaged screens at windows are often considered to be cosmetically detracting.*
RECOMMENDED ACTION: Repair
-
- 3 **CONDITION:** Floor squeaks are noted
OBSERVED AT LOCATION(s): Master Bedroom
EXPLANATION & IMPACT: *Floors squeaks are typically due to rubbing of wood elements or its fastening hardware against each other. A common source of floor squeaks is the loosening of the sub floor from its joists. Squeaks can also occur when nails securing the sub floor are loosened and the noise is due to the rub of the sub floor against the nail body. Squeaks are generally more pronounced when the average humidity within the home is low. Squeaky floors are generally considered to be an annoyance and not a structural issue. The condition may be more pronounced during extended periods of low indoor humidity, causing shrinkage in the wood which in turn loosens floor connections. The need for corrective work is generally subjective in nature. Without major alteration to the floor structure, a squeak-free floor may not be attainable.*
RECOMMENDED ACTION: Review
-
- 4 **CONDITION:** Water stains visible on interior ceiling surfaces
OBSERVED AT LOCATION(s): Master Bedroom Closet
EXPLANATION & IMPACT: *Water stains are noted on the interior ceiling surface. This condition may be due to a specific event, or may be a condition that is likely to occur again in the future. The cause of the water stain should be investigated to determine whether the condition is due to a specific event that is likely not occur again in the future, or whether the condition is due to circumstances that carry the risk of reoccurring again in the future. The relative risk of this observation can only be properly assessed when the causes of the water staining are fully understood. The immediate action should be to investigate/query for cause of the water staining; further action may be required based on understanding the cause and the need for repair.*
RECOMMENDED ACTION: Review
-

OBSERVATIONS & SUGGESTIONS:

Wood-burning fireplaces and chimneys, when used on a regular basis, should be cleaned and inspected annually by a qualified chimney expert. Both interior and exterior portions of chimneys require close examination to assure safe operation and limit costly repairs should deterioration progress that can cause damage both inside and outside the home.

A review of your home should be conducted at least twice a year. Items to include in this review include: checking all doors and windows for safe operation and protection against forced entry; checking smoke, fire, and carbon monoxide detectors, and fire extinguishers; practicing routines for fire safety and emergency situations; checking stair and railings for safety; etc.

PURPOSE

The primary purpose of the home's insulation system is to reduce heat loss in the winter and heat gain in the summer. This system is comprised of the insulation material which provides a thermal blanket, as well as other system elements that may include an air barrier, a vapor retarder, and ventilation to control the flow of air and moisture. The primary purpose of the home's ventilation systems are to remove excess heat and moisture from the home; the absence of adequate ventilation can cause detrimental effects to the home structure, its contents, and its occupants.

INSPECTION PROCESS

As documented by this report, the visual inspection of the insulation and ventilation systems includes visual examination of the readily accessible: insulation and vapor retarders in unfinished spaces; the ventilation of attics and foundation areas; and the mechanical ventilation systems for controlling indoor air quality. Reported below are the descriptions of the insulation and vapor retarder systems in unfinished areas, including any reported absences of insulation in unfinished spaces at conditioned surfaces. The inspection process is such that the inspector is not required to disturb the insulation and vapor retarders. The inspector at his/her discretion is not required to enter confined spaces where such entry is in the opinion of the inspector not safe or could result in damage to property. The inspector may provide below an estimate of the thermal resistance value as a courtesy, and if provided, is expressed as an opinion; the determination of the actual thermal value(s) is outside the scope of a home inspection and would normally require independent testing. The composition of insulation may vary from that stated below, as in some cases more than one type of insulation may be installed but this may not be apparent without probing and sampling. The inspector is also not required to determine indoor air quality, as this is outside the scope of inspection.

ACCESS TO INSPECTED AREAS:

ATTIC HATCH LOCATION(S)	EXAMINATION METHOD	CRAWL SPACES
Bedroom Closet Garage Ceiling	Attic Examined From Ladder at Hatch	None present

SYSTEM CHARACTERISTICS:

INSULATED SPACES

ATTIC INSULATION: Cellulose
 ATTIC EST. NOMINAL INSULATION VALUE [RSI]: R-30
 ATTIC VAPOR RETARDER: Not Determined
 FOUNDATION WALL INSULATION: Not Visible
 FOUNDATION WALL EST. NOMINAL INSULATION VALUE [RSI]: N/A
 FOUNDATION WALL VAPOR RETARDER: N/A
 CRAWL SPACE INSULATION: No crawl spaces present

VENTILATION

ATTIC VENTILATION: Passive Roof Vent(s); Soffit Vents
 INTERIOR VENTILATION SYSTEMS: Kitchen Exhaust Fan; Main Bathroom Exhaust Fan; Basement Bath Exhaust Fan
 EXTERIOR AIR MAKE-UP: None Observed

RESTRICTIONS:

At the time of inspection, the following restrictions applied to the examination of this system:

- Attic access restricts entry into attic, access is blocked by shelves and stored items
- Attic Insulation and Ventilation: Attic design restricts ability for full evaluation

INSULATION AND VENTILATION SYSTEM ASSESSMENT SUMMARY:

Overall Condition: Acceptable. In assessing the various aspects of the insulation and ventilation elements of this home, no major concerns were noted.

DEFICIENCY SUMMARY:

-
- 1 **CONDITION:** Dryer vent does not terminate outside.
OBSERVED AT LOCATION(s): Garage
EXPLANATION & IMPACT: *The vent for the dryer is not installed to the exterior of the building. Dryer vents should be exhausted to the outside of the building. It is recommended that dryers do not vent into the crawl space under the building.*
or in the garage. This can add moisture to the underside and interior of the structure as well as lint residue.
RECOMMENDED ACTION: Repair
-
- 2 **CONDITION:** Inadequate ventilation in the bathroom, missing exhaust fan
OBSERVED AT LOCATION(s): Basement Bathroom
EXPLANATION & IMPACT: *The observed amount of venting in the bathroom appears to be inadequate. Sufficient ventilation is required to remove excess moisture from the bathroom, and reduce excess moisture that could create condensation problems. These conditions can result in unnecessary expense to the homeowner. The suggested action is to improve ventilation to the affected area(s).*
RECOMMENDED ACTION: Install

OBSERVATIONS & SUGGESTIONS:

To ensure moisture from dryer exhaust is safely vented to the exterior, clean your dryer filter every time the dryer is used. Check the dryer duct and exterior exhaust cover at least twice a year for blockages and lint build-up.

PURPOSE

The primary function of the heating and cooling systems of the home is to provide an indoor environment that is comfortable in terms of temperature. The heating system in your home converts energy from one source (such as natural gas, propane, oil, wood, solar, or electricity) into heat. Heating may be from either or both of a forced air system (characterized by heat distribution through heating ducts) or a radiant heating system (for example electric baseboards heaters or water/steam radiators). Air conditioning, when used, removes heat and moisture from the home, and generally uses electricity as the source of energy for the cooling process. The most common form of air conditioning is with an air conditioning unit attached to the central duct system. In centrally controlled ducted systems, a thermostat generally located on the main floor is used to set and control the heating and cooling conditions.

INSPECTION PROCESS

As documented by this report, the visual inspection of the readily accessible: heating and cooling systems includes examination of installed heating equipment and installed central and through-wall cooling equipment. The inspector will open readily-opened access panels provided by the manufacturer for typical homeowner maintenance. Ambient conditions permitting, the inspector will operate the system(s) using normal operating controls. Reported below are the characteristics of the heating and cooling systems, including the energy source(s) as well as the distinguishing characteristics of the heating and cooling methods. Note that the inspection does not normally include and report on: aspects of the heating system that are not readily accessible, such as the heat exchanger and the interiors of chimneys and flues; attached or supplemental equipment to the heating and/or cooling systems, such as humidifiers, dehumidifiers, electronic air filters, etc.; and solar space heating systems. The nature of the inspection is primarily visual, and is such that this examination is not intended to determine the adequacy of the system as a whole or the heating or cooling distribution balance. The services of a heating and air conditioning specialist is normally required for these determinations and adjustments. The services of an air quality specialist should be considered where either air quality or excessive moisture conditions are encountered and cannot be resolved by the home owner.

Where fireplaces and solid fuel-burning appliances are installed, the inspection includes examination of the system components, including the vent systems, flues, and chimneys. Reported below are the characteristics of the installed fireplaces and fuel-burning appliances, and chimneys. Note that the inspection does not normally include the examination of: the interiors of flues or chimneys; fire screens and doors; seals and gaskets; automatic fuel feed devices; mantles and fireplace surrounds; the combustion make-up air devices; and heat distribution assists whether fan assisted or gravity controlled. The inspector will not normally ignite or extinguish fires, determine draft characteristics, or move fireplace inserts or stoves or fireplace contents. The services of a certified technician is normally required to assess, correct, or make recommendations to wood-burning fireplaces and stoves.

SYSTEM CHARACTERISTICS:

HEATING ENERGY SOURCE

HEATING SYSTEM FUEL TYPE(S): Propane
GAS METER OR FUEL FILLER LOCATION: At The Tank

HEATING SYSTEM DETAILS

HEATING SYSTEM TYPE:
HEATING UNIT NAME PLATE DATA: MANUFACTURER: Rheem MODEL NUMBER: RGPB-05EAUER, RGRA-09EZAJS SERIAL
NUMBER: DF5D302F239803208, EH5D707F209817488 UNIT CAPACITY: ENERGY EFFICIENCY: High Efficiency and Mid Efficiency
HEATING UNIT FRESH AIR SUPPLY: No Ducted Fresh Air Supply
HEATING UNIT RETURN AIR FILTER LOCATION: Filter Channel Outside Blower Compartment
HEATING UNIT EXHAUST: Power Vented; Chimney Vented
HEATING UNIT INSTALLATION STICKER DATE:
HEATING SYSTEM PRESSURE TAG TEST DATE:
HEATING SYSTEM AGE (EST.): 5-10 years

COOLING SYSTEM DETAILS

COOLING SYSTEM TYPE: Air Cooled, Central

COOLING SYSTEM ENERGY SOURCE:

COOLING UNIT NAME PLATE DATA: MANUFACTURER: Rheem MODEL NUMBER: SERIAL NUMBER: CAPACITY:

COOLING UNIT AGE (EST.):

SYSTEM ASSOCIATED EQUIPMENT

OTHER INSTALLED EQUIPMENT: Electronic Air Filter

FIREPLACES & FUEL-BURNING STOVES: Wood-Burning FIREPLACE/STOVE STYLE: Framed EXHAUST FUME VENTING: Chimney

RESTRICTIONS:

At the time of inspection, the following restrictions applied to the examination of this system:

- System Observed Operational
- Safeguards Not Tested
- Limited Visibility of Heat Exchanger Interior

Cooling System:

- System Observed Operational

HEATING AND COOLING SYSTEMS ASSESSMENT SUMMARY:

Overall Condition: Acceptable; Repairs Required. In assessing the various aspects of the heating/cooling systems of this home, conditions are noted where repairs are required. Assuming the noted conditions are repaired, the overall condition would be acceptable, with periodic monitoring and preventative maintenance activities performed.

DEFICIENCY SUMMARY:

-
- 1 **CONDITION:** Electronic air filter is inoperative
OBSERVED AT LOCATION(s): Basement furnace
EXPLANATION & IMPACT: *The electronic air filter is observed to be inoperative at the time of inspection. The electronic air filter may not be achieving its intended function. An electronic air filter that is not operating will not be filtering small particles from the air passing through the filter.*
RECOMMENDED ACTION: Review

 - 2 **CONDITION:** Furnace electrical disconnect switch was not found. There is a exposed splice at both furnaces power connections.
OBSERVED AT LOCATION(s): 2nd floor and basement furnaces
EXPLANATION & IMPACT: *For safety, the typical electrical arrangement for applying power to the furnace is with a switch that will permit the furnace to be turned off. The observed condition is that a switch to disconnect the electricity supply to the furnace could not be found. The expected arrangement is that a means of disconnecting the electrical supply to the furnace is provided such that the furnace can be turned off. The switch should be marked to indicate that its purpose is to control power to the furnace. A disconnect switch for the furnace should be provided for safety. A furnace technician or electrical contractor should be consulted to assure the means of electrical disconnect meets current safety standards for installations.*
RECOMMENDED ACTION: Install
-

3 **CONDITION:** Insufficient supply air

OBSERVED AT LOCATION(s): 2nd floor furnace closet

EXPLANATION & IMPACT: *The furnace is in a confined location, such that there is a concern for the amount of air available to support safe operation of the furnace. The furnace requires an adequate supply of air to assure safe operation. Proper combustion of the heating fuel and adequate venting of combustion gases requires a substantial amount of air. An inadequate supply of air may result in incomplete combustion which will produce carbon monoxide. Carbon monoxide is odorless and has health effects; high concentrations can be fatal. We recommend that the air supply requirements for the fuel-burning equipment in the noted confined area be reviewed by a heating technician, and appropriate actions as required be applied to assure safe operation of the furnace.*

RECOMMENDED ACTION: Adjust

4 **CONDITION:** Condenser unit is not level

OBSERVED AT LOCATION(s): Exterior

EXPLANATION & IMPACT: *The condenser (outside) unit is not set level. A condenser unit that is not set level is subject to uneven wear of the motor bearings. The compressor unit also needs a level bearing to prevent premature wear of its internal components and to assure efficient operation. The expected consequence for a unit that is not maintained in a level condition is that the life expectancy of the unit will be reduced. Corrections are required to ensure the unit is properly set in a level condition. This unit should be periodically checked during the operating season to assure the condenser unit is level.*

RECOMMENDED ACTION: Adjust

OBSERVATIONS & SUGGESTIONS:

Filters that are part of your heating/cooling system should be checked periodically, and cleaned or replaced when required.

PURPOSE

The primary purpose of the plumbing system is to provide a supply of water for domestic usage for the home's occupants, and to manage the safe discharge of waste water. Water supply may be from a well located on this property if the home has a private supply, or from the municipal water mains running beneath streets and roadways if the water is provided by the municipality. Drainage of wastewater is to either a septic system for private systems or to the municipal sewer system where this system is provided by the municipality.

INSPECTION PROCESS

As documented by this report, the visual inspection of the plumbing system includes the visual examination of the readily accessible: interior supply and distribution systems including all fixtures and faucets; the drain, waste and vent systems including traps, piping, and piping support; the water heating equipment including the associated vent systems, flues and chimneys; the fuel storage and fuel distribution systems; and the drainage sumps, sump pumps, and related piping. Reported below are the characteristics of the plumbing elements examined, including a description of the supply, drain, waste, and vent piping materials, the water heating equipment including its energy source, and the location of the main water and main fuel shut-off valves, as well as other appropriate information noted during the course of inspection.

Note that the plumbing systems inspection does not normally include and report on: the clothes washing machine connections; the interiors of flues or chimneys that are not readily accessible; wells, well pumps, or water storage related equipment; spas; swimming pools; water conditioning systems; solar water heating systems; fire and lawn sprinkler systems; water supply quantity and quality; and private waste disposal systems. The inspection process does not normally involve the operation of safety valves or shut-off valves. Also note that there may exist leaks in the plumbing system that are not apparent at the time of inspection, or which may only become apparent under specific plumbing fixture/component operating conditions. For example, if a minor leak exists below a fixture, the leak may only become apparent when the fixture is frequently used, in which case the limited operation of the fixture would not have detected this condition during the inspection process.

SYSTEM CHARACTERISTICS:

WATER SUPPLY SYSTEM

WATER SUPPLY SERVICE TYPE: Public
 WATER METER PICK-UP: Pick-up Not Found
 WATER METER LOCATION: Front yard
 WATER SHUT-OFF VALVE LOCATION: Basement - Front
 WATER SUPPLY PIPE MATERIAL: Plastic

WATER DISTRIBUTION SYSTEM

FACILITIES SERVICED INCLUDE: Kitchen; Main Bathroom; Master Bathroom; Basement Bathroom; Laundry Taps and Tub
 WATER DISTRIBUTION PIPING MATERIALS: Copper

WATER HEATING

HOT WATER HEATER SYSTEM TYPE: Hot water tank
 HOT WATER HEATER ENERGY SOURCE: Propane Gas
 HOT WATER HEATER ENERGY SOURCE SHUT-OFF: Valve At Water Heater
 HOT WATER HEATER CAPACITY: 50 Gallon
 HOT WATER HEATER VENTING: Convection Vented, Chimney

DRAINAGE AND VENTING SYSTEM

SANITARY / STORM DRAINAGE CONNECTIONS: Determining if the sewer systems is public or private is not part of the visual inspection .
 DRAINAGE & VENTING SYSTEM PIPING MATERIALS: Plastic
 DRAINAGE PROVISIONS: Sump Pit & Pump; Sewage Ejector Pump
 PLUMBING STACKS: Plumbing Stack(s) Observed

RESTRICTIONS:

At the time of inspection, the following restrictions applied to the examination of this system:
 Concealed water distribution pipes not inspected

Water shut-off valves not operated
Bath tub & basin overflows not tested
Water heater temperature not measured

PLUMBING SYSTEMS ASSESSMENT SUMMARY:

Overall Condition: Acceptable. In assessing the various aspects of the plumbing system of this home, no major concerns were noted.

DEFICIENCY SUMMARY:

- 1 **CONDITION:** Sink is not secured to wall
OBSERVED AT LOCATION(s): Basement Bathroom
EXPLANATION & IMPACT: *A sink is observed to be not securely attached at the wall. A sink that is not securely attached and if not repaired, may become detached from the wall. Costly repairs could result.*
RECOMMENDED ACTION: Repair

- 2 **CONDITION:** Sump Pump is in-operational
OBSERVED AT LOCATION(s): Back up pump at the front right corner sump pump pit
EXPLANATION & IMPACT: *The building has two sump pumps, one at each rear corners of the basement. The one at the right rear basement corner is unplugged and has water in it. Both pumps should be operational at all times. A sump pump that is in-operational could lead to moisture entering the building in the subarea.*
RECOMMENDED ACTION: Repair

- 3 **CONDITION:** Water heater is leaking at the water line and the TPR valve on top of the water heater
OBSERVED AT LOCATION(s): Basement
EXPLANATION & IMPACT: *Water leakage of any amount is an indicator of current or developing problems with the water tank. Old water tanks generally rust at the bottom, and minor leaks from perforation are a precursor to ultimate rupture failure of the tank. Leaks of any degree require immediate investigation and corrective action. Damaged or old tanks displaying water leakage will likely require replacement.*
RECOMMENDED ACTION: Replace

- 4 **CONDITION:** Insufficient clearance of exhaust flue from combustible materials
OBSERVED AT LOCATION(s): Water Heater
EXPLANATION & IMPACT: *Combustible materials are noted to be in close proximity to the exhaust flue for the water heater. To reduce the risk of fire, adequate clearances are required between the exhaust flue and combustible surfaces or materials. In the course of inspecting the heating system, the exhaust flue appears to be in close proximity to a permanent interior feature, presenting a potential risk of fire. Note that manufacturer's specifications for clearances may vary for various furnaces and installations, and the determination of safe clearances is generally performed by heating technicians. It is suggested that a certified heating specialist be consulted to review the installation for safety.*
RECOMMENDED ACTION: Consult Specialist

OBSERVATIONS & SUGGESTIONS:

Operate all shut off valves at least twice a year to ensure valves operate and to prevent the valve mechanisms from seizing over time.

PURPOSE

The primary purpose of the electrical system is to provide for the electrical needs for your home. This includes providing the means and metering of the electrical supply, the distribution of electricity via protected branch circuits to areas in the home, and providing lighting fixtures, switches, and outlets to meet the needs for powering lighting, appliances, and personal electrical and electronic devices.

INSPECTION PROCESS

As documented by this report, the visual inspection of the electrical system includes the visual examination of the readily accessible: service drop; the service entrance conductors, cables and raceways; the service equipment and main disconnects; the service grounding; the interior components of service panels and subpanels; the conductors; the overcurrent protection devices; a representative number of installed lighting fixtures, switches, and receptacles; and the ground fault circuit interrupts. Reported below are the characteristics of the electrical system elements examined, including the amperage and voltage rating of the service; the location of the main disconnect and subpanels; and the wiring methods, as well as other appropriate information noted during the course of inspection.

Note that this inspection of the electrical system does not normally include and report on: the remote control devices unless the device is the only control device; the alarm system and components; the low voltage wiring, systems, and components; and the ancillary wiring, systems and components not part of the primary power distribution system. Measurement of amperage, voltage or impedance are not normally conducted as part of the inspection process.

SYSTEM CHARACTERISTICS:

ELECTRICAL SERVICE

ELECTRICAL METER LOCATION: Exterior Right Wall
 ELECTRICAL SERVICE SIZE: 200 Amperes
 ELECTRICAL SERVICE VOLTAGE: 120/240 Volts
 ELECTRICAL SERVICE CABLE TYPE: Underground Cable; Concealed

MAIN DISCONNECT

MAIN DISCONNECT LOCATION: Basement Right Wall
 MAIN DISCONNECT SIZE: 200 Amperes
 MAIN DISCONNECT TYPE: Circuit Breaker Disconnect

ELECTRICAL SYSTEM GROUND

ELECTRICAL SYSTEM GROUND LOCATION: Concealed

ELECTRICAL SYSTEM MAIN PANEL

MAIN PANEL LOCATION: Basement Right Wall
 MAIN PANEL SIZE: 200 Amperes
 MAIN PANEL BRANCH CIRCUIT PROTECTION: Circuit Breakers

DISTRIBUTION WIRING

DISTRIBUTION WIRING TYPE: Copper; Grounded

SECONDARY ELECTRICAL PANELS

SECONDARY PANEL LOCATION(S): N/A
 SECONDARY PANEL SIZE(S): N/A

SECONDARY PANEL BRANCH CIRCUITS

BRANCH CIRCUITS PROTECTION: N/A

ELECTRICAL OUTLETS

ELECTRICAL OUTLET TYPE(s): 3-Prong
 GROUND-FAULT PROTECTED OUTLETS AT: Garage; Bathrooms;
 Kitchen Counter
 ARC-FAULT PROTECTED OUTLETS AT: N/A

INSTALLED SAFETY DEVICES

SMOKE DETECTORS: Basement; 1st Floor; 2nd Floor
 CARBON MONOXIDE DETECTORS: None

RESTRICTIONS:

At the time of inspection, the following restrictions applied to the examination of this system:

- Main electrical disconnect was not operated
- Wiring that is concealed is not inspected
- Outlet/switch wall plates were not removed
- System ground point was not accessible for examination

ELECTRICAL SYSTEM ASSESSMENT SUMMARY:

Overall Condition: Acceptable; Repairs Required. In assessing the various aspects of the electrical system of this home, conditions are noted where repairs are required. Assuming the noted conditions are repaired, the overall condition would be acceptable, with periodic monitoring and preventative maintenance activities performed.

DEFICIENCY SUMMARY:

- 1 **CONDITION:** Unterminated active wiring observed
OBSERVED AT LOCATION(s): 2nd floor furnace closet
EXPLANATION & IMPACT: *Wires are observed to be not terminated in a protective box, and this wiring is active. Active wiring should be properly terminated at a protective box, panel, or fixture. Exposed wire ends present the risks of electrical shock or fire. This condition is a safety concern and should be immediately rectified.*
RECOMMENDED ACTION: Repair

- 2 **CONDITION:** Ground-fault circuit interrupter (GFCI) fails to trip or is miswired
OBSERVED AT LOCATION(s): 2 outlets at the bar sink one in the basement bathroom
EXPLANATION & IMPACT: *The Ground Fault Circuit Interrupt (GFCI) outlet as tested by an independent device/tester does not function as intended. The GFCI receptacle is provided as a safety device in locations where the presence of water increases the risk of electrical shock. Failure to correct this deficiency may result in serious injury and possibly death from electrical shocks should the device not operate when needed. Immediate repair or replacement is recommended.*
RECOMMENDED ACTION: Repair

- 3 **CONDITION:** Carbon Monoxide detector is not installed in a location where expected.
OBSERVED AT LOCATION(s): Within 15 feet of any sleeping area.
EXPLANATION & IMPACT: *A carbon monoxide detector is observed to be not located within 15 feet of a sleeping area. The observed location of this alert device may impair the operation of the detector. As the detector is a safety device, it is crucial that this device be installed in accordance with the manufacturer's instructions. Immediate action should be taken to correct this condition to assure correct operation of a safety device at this location. Effective January 1st, 2007 it is the law in Illinois that that a Carbon Monoxide detector be installed within 15 feet of any and all sleeping areas.*
RECOMMENDED ACTION: Repair

- 4 **CONDITION:** Electrical fixture and switch doesn't work
OBSERVED AT LOCATION(s): Basement bathroom
EXPLANATION & IMPACT: *A fixture is observed to be inoperative at the time of inspection. Bulbs missing or possibly burnt out at the fixture. An inoperative fixture may indicate that the fixture or its switch(es) are not correctly installed or wired. In some cases, this may present a safety issue. If the fixture remains inoperative after verifying that the bulb is not burned out, then investigation by an electrician is recommended.*
RECOMMENDED ACTION: Repair

- 5 **CONDITION:** An exterior outlet has a damaged receptacle cover
OBSERVED AT LOCATION(s): Exterior Back
EXPLANATION & IMPACT: *Electrical outlets installed in outdoor locations require protection from water entry and contaminants. An outlet with a missing or damaged cover, when in an outdoor location, is subject to damage and deterioration if its weathertight protection has been compromised. Receptacles displaying damage or deterioration should be immediately replaced and a suitable cover installed.*
RECOMMENDED ACTION: Repair

-
- 6 **CONDITION:** Electrical switch purpose is unknown.
OBSERVED AT LOCATION(s): One by the garage door, one by the front door
EXPLANATION & IMPACT: *An electrical switch is observed to be inoperative or the purpose of the switch is unknown. A switch that is inoperative is an indication of a wiring error or defective device. In certain circumstances, the condition may present the risk of electrical shock if the cause is due to a loose wire. If replacing the switch does not result in proper operation, further investigation by an electrician is recommended. Suggest consulting with the property owner concerning the purpose of the switch.*
RECOMMENDED ACTION: Review
-
- 7 **CONDITION:** Ground fault protection for an outlet is recommended
OBSERVED AT LOCATION(s): 2nd floor bathroom, two outlets to the right of the kitchen sink, one outlet by the kitchen stove. all outside outlets
EXPLANATION & IMPACT: *An electrical outlet is installed in a location that for safety, should have ground fault protection. Outlets at outdoor locations, and at indoor locations near sinks, tubs, or showers, should have ground fault protection to reduce the risk of fatal shock. Upgrading the outlets to provide ground fault protection to these receptacle locations is recommended.*
RECOMMENDED ACTION: Install
-
- 8 **CONDITION:** Receptacle cover plate is missing
OBSERVED AT LOCATION(s): In the attic of the master bedroom closet
EXPLANATION & IMPACT: *A protective cover plate is missing from an electrical outlet. A cover plate for receptacles is required to reduce the risk of electrical shock. A suitable cover plate should be immediately installed for safety*
RECOMMENDED ACTION: Install

OBSERVATIONS & SUGGESTIONS:

Smoke detectors, fire detectors, and carbon monoxide detectors should be tested periodically in accordance with manufacturer's recommendation, to assure these devices are operable and providing protection. Failure to perform periodic test reduces assurance that the home's occupants will be alerted in the event of hazardous events. If uncertain about the frequency of testing, the suggested frequency of testing is once per month. If devices are operated by or contain batteries as back-up power, it is suggested that batteries be changed in accordance with manufacturer's recommendations, or every 6 months if not specified.

The residence of 123 Pebble Stone, Bedrock, was inspected on Wednesday, January 31, 0001

Location orientations in this report are with reference to viewing the property from the front, representing facing the front entry door.

This Report is provided as information to the contracted party(s): Fred and Wilma Flintstone

1

LOCATION: Front Porch Step

CONDITION: Exterior masonry brick is loose on the front porch step.

EXPLANATION: Loose bricks are noted, May be a trip concern.

IMPACT/CONSEQUENCES: Loose or missing bricks can allow moisture to enter the wall cavity causing damage to the structure and interior walls.

RECOMMENDED ACTION: Repair

2

LOCATION: Exterior

CONDITION: Caulking is missing where the brick and siding meet.

EXPLANATION: Gaps are noted at the junction areas where the brick and siding meet.

IMPACT/CONSEQUENCES: Caulking where the brick and siding meet serves several functions, including preventing air, water, and pest infiltration, and restricting heat loss or gain through the exterior wall. Moisture has the greatest potential for damage; unintended water infiltration into the house can cause significant damage to surfaces and property, and if not corrected, may lead to damage and rot to structural elements. Caulking at the noted location should be performed at the earliest opportunity; preventative maintenance should include reviewing and repairing exterior caulking at doors, windows, and wall penetrations at least twice a year.

RECOMMENDED ACTION: Repair

3

LOCATION: Exterior Rear

CONDITION: Flashing where the deck joins the building is missing or not properly installed.

EXPLANATION: Suitable provisions are required where the deck joins the building to seal against water, air, and pest infiltration.

IMPACT/CONSEQUENCES: Unintended water infiltration into the house, or between the boards where the deck joins the house, can result in significant damage to surfaces and property, and if not corrected, may lead to damage and rot to structural elements. Unintended air infiltration may affect interior air quality and conditioning. Unintended pest entry can result in damage to interior finishes and belongings, and in some cases may present health risks. Corrective action is required to seal all openings through the exterior wall system.

RECOMMENDED ACTION: Repair

4

LOCATION: Exterior Rear

CONDITION: Wood deck should be bolted to the building.

EXPLANATION: The deck is currently nailed to the building. Lag bolts should be installed where the deck connects to the building.

IMPACT/CONSEQUENCES: Nails work loose over time. Bolts help to maintain a strong connection to the building.

RECOMMENDED ACTION: Repair

5 LOCATION: Rear garage door

CONDITION: Wood elements of the exterior door requires painting

EXPLANATION: Paint at an exterior door is observed to be deteriorated.

IMPACT/CONSEQUENCES: Painting of the wood elements of exterior wood doors is a maintenance activity to prevent damage due to the effects of the sun and weather. Wood requires periodic painting to protect against rot. Failure to properly maintain exterior doors will result in deterioration of the doors, and may result in damage to the structure and interior should the door and its framing not provide suitable protection from water infiltration.

RECOMMENDED ACTION: Repair

6

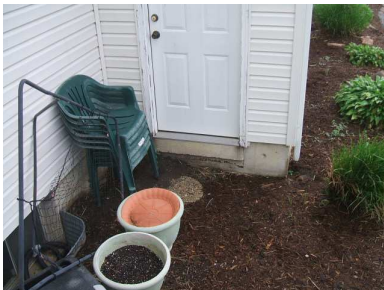

LOCATION: Left rear corner

CONDITION: Downspout(s) discharge near foundation

EXPLANATION: Concentrated water discharge from the roof is occurring due to downspouts terminating near the home's foundation. This will promote water saturation of soils at the foundation and footings, and may result in moisture-related problems in the basement.

IMPACT/CONSEQUENCES: Downspouts should be installed such that drainage will occur away from the foundation of the home. If possible, the discharge point from downspouts should be at least 6' (2m) away from the foundation. Water accumulation near the foundation may lead to foundation and basement dampness issues. This condition should be closely monitored; where basement dampness or foundation cracks are noted, remedial action is recommended to improve the grade and assure effective drainage will occur.

RECOMMENDED ACTION: Review

7


LOCATION: Right rear living room door and the rear outside garage door

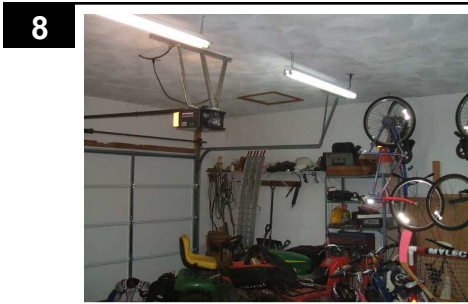
CONDITION: Exterior stairs are missing

EXPLANATION: Stairs are noted to be missing. Stairs should have a rise (height between steps) of about 8" (20 cm) and a run (depth of the treads) of about 9-10" (23-25 cm) to make the stairs easy to mount.

IMPACT/CONSEQUENCES: Trips and falls are more likely to occur on stairs where there is an uneven rise or run. When using stairs, the tendency is to assume an even rise, and therefore tripping occurs either by over-stepping or under-stepping when mounting individual steps that have a rise other than expected. Stairs that have too shallow of a run present a higher risk of slips and falls by not being able to assure full foot contact on the tread. Unless corrected, stairs with these conditions present a greater risk of injury.

RECOMMENDED ACTION: Install

10 DEFICIENCIES REPORT
HOME ELEMENTS AND SYSTEMS



LOCATION: Right attic access in the Garage
CONDITION: The attic access hatch was blocked by personal items and storage
EXPLANATION: The access to the attic was blocked. This section of the attic could not be inspected.
IMPACT/CONSEQUENCES: The attic was not inspected in this area.
RECOMMENDED ACTION: Review



LOCATION: Right basement wall by the main electrical panel, front basement wall by the water line, right rear corner as seen outside

CONDITION: Foundation wall is cracked; minor

EXPLANATION: Cracks in the foundation wall are observed during examination of the exterior of the home. At the time of inspection, the crack(s) are regarded to be minor. Ascertaining the cause of a crack cannot be readily determined during a home inspection, but are typically due to shrinkage of the concrete during curing, settlement of soils below the footings, pressure of soils against the foundation wall, or from a physical shock, seismic or hydrological event. At the time of inspection, adverse effects are not observed.

IMPACT/CONSEQUENCES: Minor cracks should be monitored for change over time. Cracks that change in size and extent over time are an indication of settlement and should be reviewed by a foundation specialist, and may require further evaluation by a soils and/or structural engineer. Periodic monitoring is recommended to ascertain whether adverse effects are occurring. Note that a home inspection cannot predict whether an adverse consequence is likely to occur. For example, a crack that shows no indication of current or past evidence of water leakage to the interior may leak in the future.

RECOMMENDED ACTION: Monitor

10 **LOCATION:** Living Room

CONDITION: Wood burning fireplace/chimney has a heavy creosote buildup

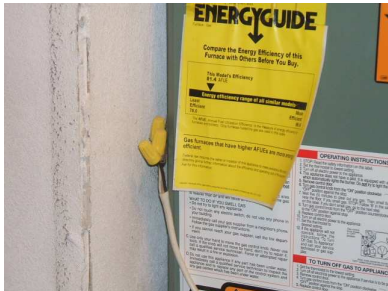
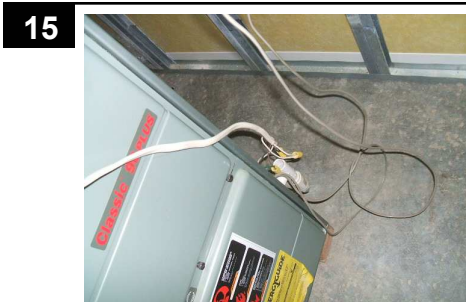
EXPLANATION: Creosote is the residue from unburned products of combustion from the burning of wood in the fireplace. Creosote is a black, crusty deposit that builds up over time on the inside walls of the chimney. Creosote can also form as a gel, that can flow or run, or as a hard glaze. All forms of creosote are flammable, and if allowed to build up, pose a fire risk.

IMPACT/CONSEQUENCES: When permitted to build up on the walls of the chimney, the creosote becomes a fire hazard, as creosote is highly flammable. The primary concern is that creosote can result in chimney fires which occurs when the creosote is ignited in a chimney. Before using the fireplace, we recommend that the fireplace be cleaned and examined by a certified fireplace specialist, to assure that the fireplace is safe for operation. As part of a regular plan for home maintenance, chimneys and fireplaces should be cleaned and inspected annually.

RECOMMENDED ACTION: Repair

11 LOCATION: 3 windows**CONDITION:** Exterior window has a missing screen**EXPLANATION:** A window screen is observed to be missing at the noted location(s). The primary purpose of the screen is to prevent pest entry when the window unit is used for ventilation. A secondary function of the screen is to restrict the ability of children or pets to unintentionally leave the house.**IMPACT/CONSEQUENCES:** Damaged screens will often result in unintended consequences, such as pest entry (insects, birds, rodents, etc.) or unintended "escape" of small children or pets. Although screens can be breached, their presence often restricts small children from leaving the home, and becoming exposed to risks to their safety. Windows are often at sufficient height from the ground that fall hazards should be considered as a primary safety concern. Damaged screens at windows are often considered to be cosmetically detracting.**RECOMMENDED ACTION:** Repair**12 LOCATION:** Master Bedroom**CONDITION:** Floor squeaks are noted**EXPLANATION:** Floors squeaks are typically due to rubbing of wood elements or its fastening hardware against each other. A common source of floor squeaks is the loosening of the sub floor from its joists. Squeaks can also occur when nails securing the sub floor are loosened and the noise is due to the rub of the sub floor against the nail body. Squeaks are generally more pronounced when the average humidity within the home is low.**IMPACT/CONSEQUENCES:** Squeaky floors are generally considered to be an annoyance and not a structural issue. The condition may be more pronounced during extended periods of low indoor humidity, causing shrinkage in the wood which in turn loosens floor connections. The need for corrective work is generally subjective in nature. Without major alteration to the floor structure, a squeak-free floor may not be attainable.**RECOMMENDED ACTION:** Review**13****LOCATION:** Master Bedroom Closet**CONDITION:** Water stains visible on interior ceiling surfaces**EXPLANATION:** Water stains are noted on the interior ceiling surface. This condition may be due to a specific event, or may be a condition that is likely to occur again in the future.**IMPACT/CONSEQUENCES:** The cause of the water stain should be investigated to determine whether the condition is due to a specific event that is likely not occur again in the future, or whether the condition is due to circumstances that carry the risk of reoccurring again in the future. The relative risk of this observation can only be properly assessed when the causes of the water staining are fully understood. The immediate action should be to investigate/query for cause of the water staining; further action may be required based on understanding the cause and the need for repair.**RECOMMENDED ACTION:** Review**14 LOCATION:** Basement furnace**CONDITION:** Electronic air filter is inoperative**EXPLANATION:** The electronic air filter is observed to be inoperative at the time of inspection.**IMPACT/CONSEQUENCES:** The electronic air filter may not be achieving its intended function. An electronic air filter that is not operating will not be filtering small particles from the air passing through the filter.**RECOMMENDED ACTION:** Review

10 DEFICIENCIES REPORT
HOME ELEMENTS AND SYSTEMS



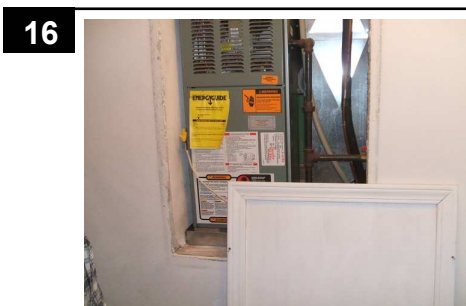
LOCATION: 2nd floor and basement furnaces

CONDITION: Furnace electrical disconnect switch was not found. There is a exposed splice at both furnaces power connections.

EXPLANATION: For safety, the typical electrical arrangement for applying power to the furnace is with a switch that will permit the furnace to be turned off. The observed condition is that a switch to disconnect the electricity supply to the furnace could not be found. The expected arrangement is that a means of disconnecting the electrical supply to the furnace is provided such that the furnace can be turned off. The switch should be marked to indicate that its purpose is to control power to the furnace.

IMPACT/CONSEQUENCES: A disconnect switch for the furnace should be provided for safety. A furnace technician or electrical contractor should be consulted to assure the means of electrical disconnect meets current safety standards for installations.

RECOMMENDED ACTION: Install



LOCATION: 2nd floor furnace closet

CONDITION: Insufficient supply air

EXPLANATION: The furnace is in a confined location, such that there is a concern for the amount of air available to support safe operation of the furnace.

IMPACT/CONSEQUENCES: The furnace requires an adequate supply of air to assure safe operation. Proper combustion of the heating fuel and adequate venting of combustion gases requires a substantial amount of air. An inadequate supply of air may result in incomplete combustion which will produce carbon monoxide. Carbon monoxide is odorless and has health effects; high concentrations can be fatal. We recommend that the air supply requirements for the fuel-burning equipment in the noted confined area be reviewed by a heating technician, and appropriate actions as required be applied to assure safe operation of the furnace.

RECOMMENDED ACTION: Adjust

17 **LOCATION:** Exterior

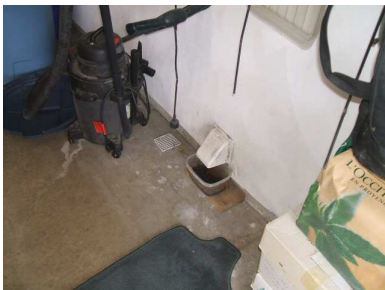
CONDITION: Condenser unit is not level

EXPLANATION: The condenser (outside) unit is not set level.

IMPACT/CONSEQUENCES: A condenser unit that is not set level is subject to uneven wear of the motor bearings. The compressor unit also needs a level bearing to prevent premature wear of its internal components and to assure efficient operation. The expected consequence for a unit that is not maintained in a level condition is that the life expectancy of the unit will be reduced. Corrections are required to ensure the unit is properly set in a level condition. This unit should be periodically checked during the operating season to assure the condenser unit is level.

RECOMMENDED ACTION: Adjust

18

**LOCATION:** Garage**CONDITION:** Dryer vent does not terminate outside.**EXPLANATION:** The vent for the dryer is not installed to the exterior of the building.**IMPACT/CONSEQUENCES:** Dryer vents should be exhausted to the outside of the building. It is recommended that dryers do not vent into the crawl space under the building.

or in the garage. This can add moisture to the underside and interior of the structure as well as lint residue.

RECOMMENDED ACTION: Repair

19

LOCATION: Basement Bathroom**CONDITION:** Inadequate ventilation in the bathroom, missing exhaust fan**EXPLANATION:** The observed amount of venting in the bathroom appears to be inadequate.**IMPACT/CONSEQUENCES:** Sufficient ventilation is required to remove excess moisture from the bathroom, and reduce excess moisture that could create condensation problems. These conditions can result in unnecessary expense to the homeowner. The suggested action is to improve ventilation to the affected area(s).**RECOMMENDED ACTION:** Install

20

LOCATION: Basement Bathroom**CONDITION:** Sink is not secured to wall**EXPLANATION:** A sink is observed to be not securely attached at the wall.**IMPACT/CONSEQUENCES:** A sink that is not securely attached and if not repaired, may become detached from the wall. Costly repairs could result.**RECOMMENDED ACTION:** Repair

21

LOCATION: Back up pump at the front right corner sump pump pit**CONDITION:** Sump Pump is in-operational**EXPLANATION:** The building has two sump pumps, one at each rear corners of the basement. The one at the right rear basement corner is unplugged and has water in it. Both pumps should be operational at all times.**IMPACT/CONSEQUENCES:** A sump pump that is in-operational could lead to moisture entering the building in the subarea.**RECOMMENDED ACTION:** Repair

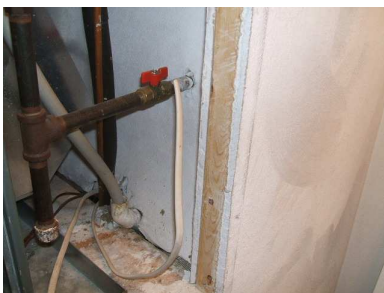
22

**LOCATION:** Basement**CONDITION:** Water heater is leaking at the water line and the TPR valve on top of the water heater**EXPLANATION:** Water leakage of any amount is an indicator of current or developing problems with the water tank. Old water tanks generally rust at the bottom, and minor leaks from perforation are a precursor to ultimate rupture failure of the tank.**IMPACT/CONSEQUENCES:** Leaks of any degree require immediate investigation and corrective action. Damaged or old tanks displaying water leakage will likely require replacement.**RECOMMENDED ACTION:** Replace

23

**LOCATION:** Water Heater**CONDITION:** Insufficient clearance of exhaust flue from combustibles**EXPLANATION:** Combustible materials are noted to be in close proximity to the exhaust flue for the water heater.**IMPACT/CONSEQUENCES:** To reduce the risk of fire, adequate clearances are required between the exhaust flue and combustible surfaces or materials. In the course of inspecting the heating system, the exhaust flue appears to be in close proximity to a permanent interior feature, presenting a potential risk of fire. Note that manufacturer's specifications for clearances may vary for various furnaces and installations, and the determination of safe clearances is generally performed by heating technicians. It is suggested that a certified heating specialist be consulted to review the installation for safety.**RECOMMENDED ACTION:** Consult Specialist

24

**LOCATION:** 2nd floor furnace closet**CONDITION:** Unterminated active wiring observed**EXPLANATION:** Wires are observed to be not terminated in a protective box, and this wiring is active.**IMPACT/CONSEQUENCES:** Active wiring should be properly terminated at a protective box, panel, or fixture. Exposed wire ends present the risks of electrical shock or fire. This condition is a safety concern and should be immediately rectified.**RECOMMENDED ACTION:** Repair

25

LOCATION: 2 outlets at the bar sink one in the basement bathroom**CONDITION:** Ground-fault circuit interrupter (GFCI) fails to trip or is miswired**EXPLANATION:** The Ground Fault Circuit Interrupter (GFCI) outlet as tested by an independent device/tester does not function as intended.**IMPACT/CONSEQUENCES:** The GFCI receptacle is provided as a safety device in locations where the presence of water increases the risk of electrical shock. Failure to correct this deficiency may result in serious injury and possibly death from electrical shocks should the device not operate when needed. Immediate repair or replacement is recommended.**RECOMMENDED ACTION:** Repair

26 **LOCATION:** Within 15 feet of any sleeping area.

CONDITION: Carbon Monoxide detector is not installed in a location where expected.

EXPLANATION: A carbon monoxide detector is observed to be not located within 15 feet of a sleeping area.

IMPACT/CONSEQUENCES: The observed location of this alert device may impair the operation of the detector. As the detector is a safety device, it is crucial that this device be installed in accordance with the manufacturer's instructions.

Immediate action should be taken to correct this condition to assure correct operation of a safety device at this location.

Effective January 1st, 2007 it is the law in Illinois that that a Carbon Monoxide detector be installed within 15 feet of any and all sleeping areas.

RECOMMENDED ACTION: Repair

27 **LOCATION:** Basement bathroom

CONDITION: Electrical fixture and switch doesn't work

EXPLANATION: A fixture is observed to be inoperative at the time of inspection. Bulbs missing or possibly burnt out at the fixture.

IMPACT/CONSEQUENCES: An inoperative fixture may indicate that the fixture or its switch(es) are not correctly installed or wired. In some cases, this may present a safety issue. If the fixture remains inoperative after verifying that the bulb is not burned out, then investigation by an electrician is recommended.

RECOMMENDED ACTION: Repair

28



LOCATION: Exterior Back

CONDITION: An exterior outlet has a damaged receptacle cover

EXPLANATION: Electrical outlets installed in outdoor locations require protection from water entry and contaminants.

IMPACT/CONSEQUENCES: An outlet with a missing or damaged cover, when in an outdoor location, is subject to damage and deterioration if its weathertight protection has been compromised. Receptacles displaying damage or deterioration should be immediately replaced and a suitable cover installed.

RECOMMENDED ACTION: Repair

29 **LOCATION:** One by the garage door, one by the front door

CONDITION: Electrical switch purpose is unknown.

EXPLANATION: An electrical switch is observed to be inoperative or the purpose of the switch is unknown.

IMPACT/CONSEQUENCES: A switch that is inoperative is an indication of a wiring error or defective device. In certain circumstances, the condition may present the risk of electrical shock if the cause is due to a loose wire. If replacing the switch does not result in proper operation, further investigation by an electrician is recommended. Suggest consulting with the property owner concerning the purpose of the switch.

RECOMMENDED ACTION: Review

30 **LOCATION:** 2nd floor bathroom, two outlets to the right of the kitchen sink, one outlet by the kitchen stove. all outside outlets

CONDITION: Ground fault protection for an outlet is recommended

EXPLANATION: An electrical outlet is installed in a location that for safety, should have ground fault protection.

IMPACT/CONSEQUENCES: Outlets at outdoor locations, and at indoor locations near sinks, tubs, or showers, should have ground fault protection to reduce the risk of fatal shock. Upgrading the outlets to provide ground fault protection to these receptacle locations is recommended.

RECOMMENDED ACTION: Install

31 **LOCATION:** In the attic of the master bedroom closet

CONDITION: Receptacle cover plate is missing

EXPLANATION: A protective cover plate is missing from an electrical outlet.

IMPACT/CONSEQUENCES: A cover plate for receptacles is required to reduce the risk of electrical shock. A suitable cover plate should be immediately installed for safety

RECOMMENDED ACTION: Install